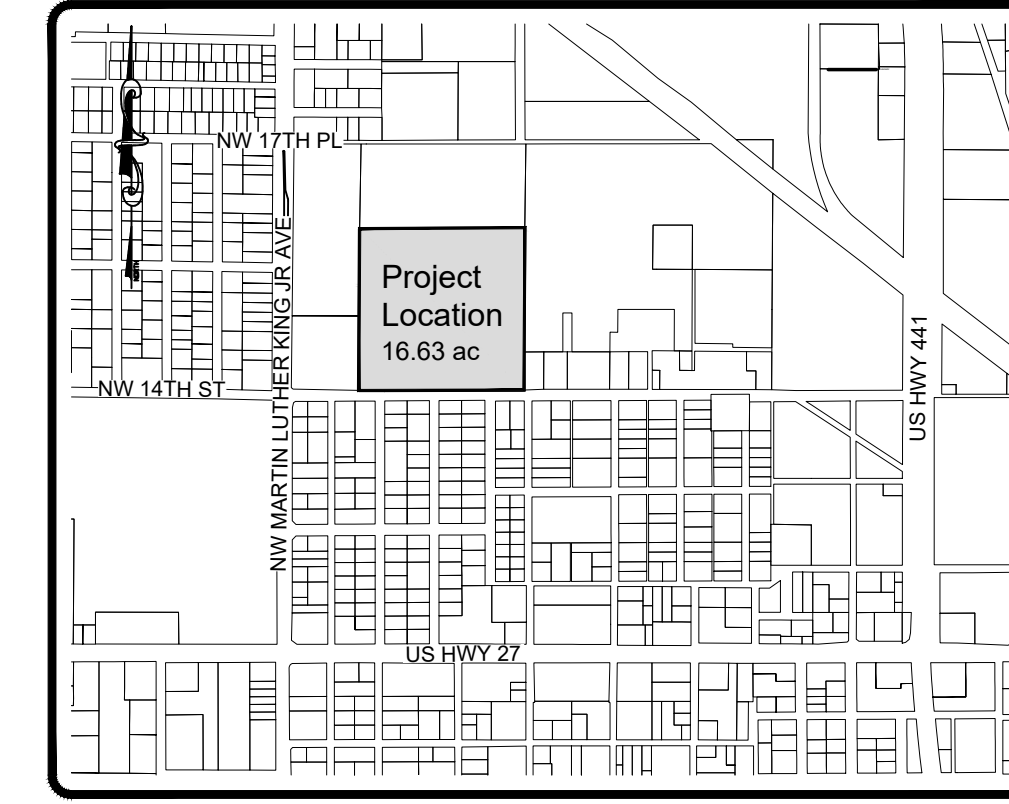
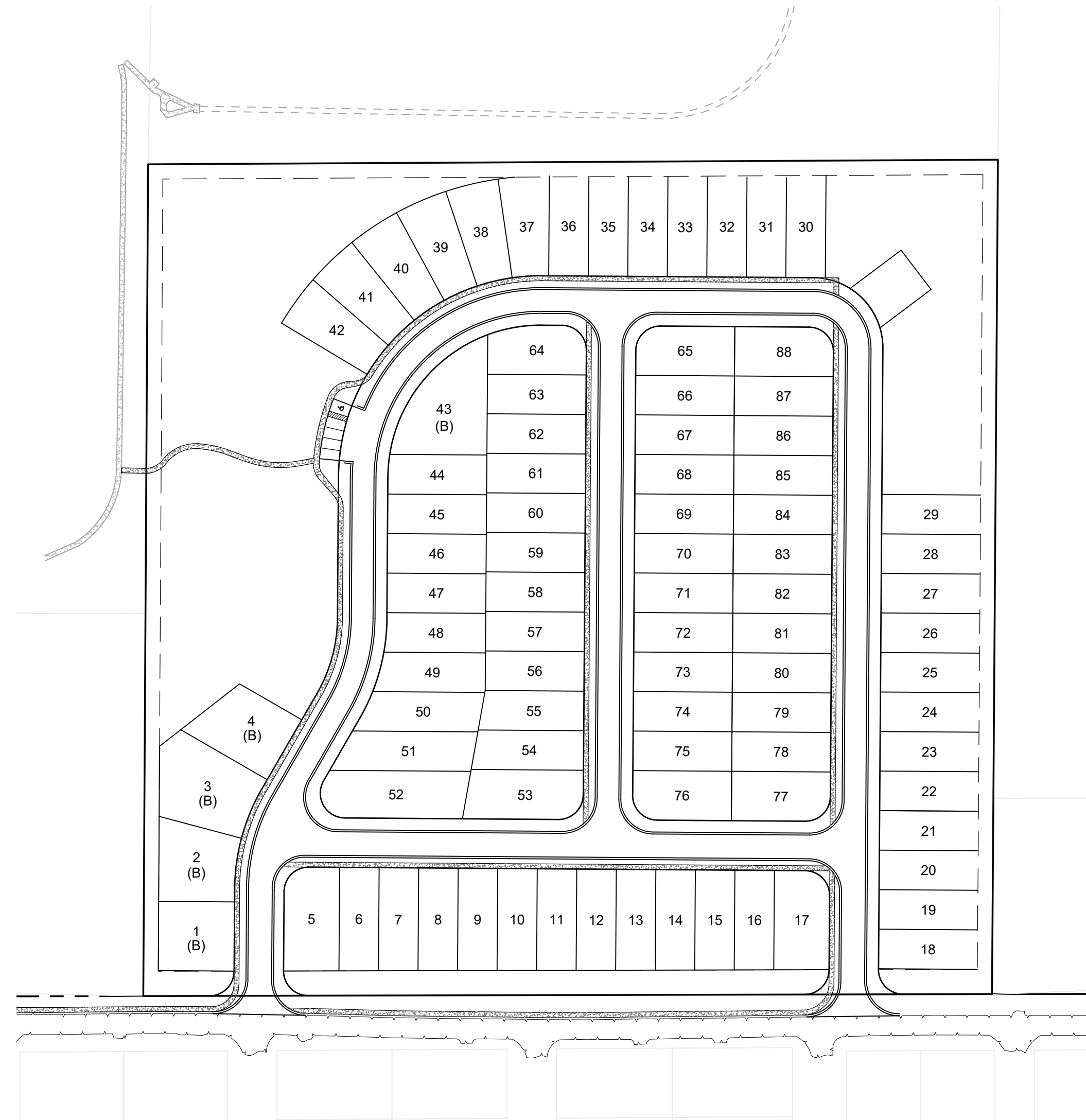


# PINE OAKS PRESERVE

## PD PLAN

### OCALA, FLORIDA



LOCATION MAP  
SCALE: 1" = 2000'  
OCALA, FLORIDA  
SECTION 03, TOWNSHIP 16 SOUTH, RANGE 21 EAST

**REVIEWED**  
For Code Compliance  
City of Ocala Growth Management  
PD23-45351-Pine Oaks Preserve 5/13/2024  
THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH ALL CODES WHICH THE CITY OF OCALA ENFORCES. IF THERE ARE ANY ERRORS OR OMISSIONS MADE BY THE PROPOSER, REVIEWING THE PLANS, THE CITY DOES NOT PRECLUDE THE ENFORCEMENT OF THESE CODES AND NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL THE ABOVE VIOLATIONS ARE CORRECTED.

By: REV. PER CI	Date: 12-7-23
Drawn: MWR	Project: 2023-12
Checked: BIL	Date: 09-14-23
Project: PD23-12 Pine Oaks Preserve - PD Plan.dwg	

### CITY OF OCALA PROJECT PROJECT # PD23-45351

#### Site Information:

PROJECT NAME: PINE OAKS PRESERVE  
PROJECT LOCATION: 1300 BLOCK OF NW 14TH STREET  
OWNER: SMART FILL INVESTMENTS, LLC  
4810 49TH AVE N  
ST. PETERSBURG FL 33714  
CONTACT: MIKE UNG  
TELEPHONE: (813) 830-8388  
TOTAL SITE AREA: 724,428 SF (16.63 AC)  
EXISTING ZONING: R-3  
LOT SETBACKS: PROPOSED FOR PD  
FRONT = 20' FROM LOT BOUNDARY  
REAR = 20' FROM LOT BOUNDARY  
SIDES = 5' FROM LOT BOUNDARY  
PROPOSED UNITS: 88 SINGLE FAMILY UNITS  
PROPOSED DENSITY: 88 UNITS/16.63 ACRES = 5.29 UNITS PER ACRE  
LAND USE: NEIGHBORHOOD  
PARCEL NUMBER: 25773-000-00  
LENGTH OF ROADS: 2975 LF. (0.56 MILES)

#### Sheet Index:

- C001 COVER SHEET
- C002 SITE LAYOUT
- C003 EXISTING CONDITIONS PLAN
- C004 OPEN SPACE CALCULATIONS
- C005 LANDSCAPE & TREE PLAN
- C006 TREE TABLE
- S001 BOUNDARY & TREE SURVEY (BARRINEAU)

#### General Notes:

- PROPERTY IS CURRENTLY ZONED R3: WITH MAX ALLOWABLE DENSITY OF 12 UNITS PER ACRE, BEFORE INCENTIVES.
- PROPOSED DENSITY = 88/16.63 = 5.29 UNITS/ACRE, WHICH INCLUDES INCENTIVES.
- THE SPECIFIC USE TO BE PERMITTED ON THE PROPERTY IS SINGLE-FAMILY RESIDENCES.
- TYPICAL PRICE RANGE FOR NEW HOMES IS \$300-350,000
- BUILDING HEIGHT SHALL NOT EXCEED THREE (3) STORIES OR 50'.
- CONSTRUCTION IS PROPOSED IN A SINGLE PHASE.
- FIRE HYDRANTS ARE REQUIRED WITHIN 500 FEET OF THE EXTERIOR REMOTE PORTION OF ANY PROPOSED BUILDING. STANDPIPES SHALL BE WITHIN 100' CLEARANCES SHALL BE MAINTAINED OF SEVEN AND ONE HALF FEET (7'6") IN FRONT OF AND TO THE SIDES OF EVERY FIRE HYDRANT, WITH FOUR FEET (4') CLEARANCE TO THE REAR OF THE HYDRANT.
- SIDEWALKS WITHIN THE DEVELOPMENT SHALL BE PUBLIC.

#### Statement of Unified Control:

THE APPLICANT IS IN THE COMPLETE, UNIFIED AND OTHERWISE-UNENCUMBERED CONTROL OF THE ENTIRE AREA OF THE PROPOSED PLANNED DEVELOPMENT. AS APPLICABLE APPLICANT WILL PROVIDE THE CITY ALL NECESSARY DOCUMENTS AND INFORMATION THAT MAY BE REQUIRED BY THE CITY ATTORNEY TO ASSURE THE CITY THAT THE DEVELOPMENT PROJECT MAY BE LAWFULLY COMPLETED ACCORDING TO THE PLANS SOUGHT TO BE APPROVED.

#### Public Facilities:

ROADS, DRAINAGE, POTABLE WATER, SANITARY SEWER, ELECTRICAL AND SOLID WASTE COLLECTION SERVICES ARE PUBLIC FOR THE DEVELOPMENT AND WILL BE PROVIDED BY THE CITY OF OCALA. A SMALL PLAYGROUND WITHIN THE DEVELOPMENT WILL BE DEDICATED TO THE CITY FOR PUBLIC USE.

#### Traffic:

THE PROPOSED DEVELOPMENT WILL CONSIST OF 88 SINGLE-FAMILY HOMES.  
ACCESS TO THE PROPERTY WILL BE OFF OF N.W. 14TH STREET.  
PROPOSED 50' RIGHT-OF-WAY INTERIOR ROADS INCLUDING TWO ACCESS LOCATIONS TO 14TH STREET ARE SHOWN ON THE PLAN.  
TRAFFIC GENERATION RATES ARE BASED ON THE ITE TRIP GENERATION REPORT 11th EDITION.  
SINGLE FAMILY DETACHED HOUSING (ITE CODE:210)  
88 HOMES X 9.43 = 830 TOTAL DAILY TRIPS  
88 HOMES X 0.75 = 66 AM PEAK HOUR TRIPS  
88 HOMES X 0.99 = 87 PM PEAK HOUR TRIPS

#### Water / Sewer Notes:

- SEWER NOTES:
- GRAVITY SEWER SHALL BE DESIGNED TO CONNECT TO EXISTING MUNICIPAL SEWER.
  - ALL WATER AND SEWER CONSTRUCTION WILL BE IN ACCORDANCE WITH THE CITY OF OCALA WATER AND SEWER CONSTRUCTION MANUAL, VOL III, LATEST EDITION.
- WATER NOTES:
- POTABLE WATER MAINS SHALL BE DESIGNED TO CONNECT TO THE EXISTING MUNICIPAL WATER SUPPLY.
  - DEVELOPER WILL INSTALL ALL WATER SERVICES TO EACH BUILDING. THE CITY OF OCALA WILL INSTALL WATER METERS ONCE APPLICABLE FEES ARE PAID.
  - DEVELOPER TO SUBMIT VALVE TIE SHEETS AFTER CONSTRUCTION.

AS-BUILTS, MEETING THE CITY OF OCALA WATER & SEWER CONSTRUCTION MANUAL REQUIREMENTS ARE TO BE SUPPLIED TO THE CITY PRIOR TO ISSUANCE OF THE C.O. (WSCM 485.2.5.8/495.2.8.5)

#### Underground Electric:

ALL ELECTRIC WILL BE UNDERGROUND.  
UNDERGROUND ELECTRIC PLANS TO BE COORDINATED WITH OCALA UTILITY SERVICE AT TIME OF SUBDIVISION IMPROVEMENT PLANS.

#### Solid Waste:

A RESIDENTIAL SOLID WASTE IMPACT FEE, AS ESTABLISHED BY THE CITY COUNCIL, IS DUE AND PAYABLE FOR EACH BUILDABLE LOT AT THE TIME OF FINAL PLAT.

#### Drainage Narrative:

THE PROPOSED 16.63 ACRE PINE OAKS PRESERVE PROJECT WILL INCLUDE 83 SINGLE FAMILY HOMES SERVICED BY AN APPROXIMATE 2,975 LINEAR FEET (0.56 MILES) MIAMI TYPE CURB AND GUTTER ROADWAY. CAPACITY EXISTS IN THE ADJACENT MUNICIPAL DRA'S, AND WILL BE PURCHASED AS ALLOWED FOR IN THE CITY OF OCALA CODE.

STORMWATER RUNOFF FROM THIS PROJECT WILL BE COLLECTED THROUGH A SERIES OF INLETS AND PIPES WHICH DISCHARGE INTO EXISTING CITY OF OCALA DRAINAGE RETENTION AREAS (DRA) FOR WATER QUALITY AND/OR WATER QUANTITY ATTENUATION AS REQUIRED BY THE CITY OF OCALA AND SAINT JOHNS RIVER WATER MANAGEMENT DISTRICT.

STORMWATER DESIGN WILL BE PERMITTED THROUGH CITY OF OCALA AND SJRWMD.

THE MAJORITY OF THE SITE IS LOCATED IN FIRM ZONE "X" (NOT IN THE FLOOD ZONE) PER FEMA. TWO (2) AREAS ARE LOCATED IN ZONE "A" & "AE" AS SHOWN ON THE SURVEY.

#### Construction Timeline:

ESTIMATED CONSTRUCTION TO BEGIN NOVEMBER 2024 AND FINISH IN MAY 2025.

#### Existing Conditions:

THE SITE IS SITUATED ON A WOODED LOT SURROUNDED BY THE EXISTING CITY OF OCALA RETENTION AREAS AND NEIGHBORHOODS WHICH CONSISTS OF SINGLE FAMILY & GOVERNMENT USES. MATURE EXISTS EXIST WITHIN THE SITE AND WILL BE PRESERVED AS PART OF THE PROJECTS NATURAL OPEN SPACE. DRAINAGE AND STORMWATER CONTROLS WILL BE PROVIDED TO MEET SJRWMD AND CITY OF OCALA STANDARDS.

#### Description:

PER WARRANTY DEED AS RECORDED IN OFFICIAL RECORDS BOOK 7783, PAGE 1264 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

BLOCKS 6, 7, 14 AND 15; LOTS 2 AND 3, OR WEST 1/2 OF BLOCK 8; AND LOTS 2 AND 3, OR WEST 1/2 OF BLOCK 13, MUNDEN'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK A, PAGE 76, PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

DESIGN PROFESSIONALS			
DESIGN SUBJECT	COMPANY	CONTACT PERSON	PHONE NUMBER
ENGINEER	RADCLIFFE ENGINEERING	MICHAEL W. RADCLIFFE, P.E.	(352) 629-5500
SURVEYOR	R.M BARRINEAU + ASSOC.	TRAVIS BARRINEAU	(352) 622-3133
DEVELOPER	SMART FILL INVESTMENTS	MIKE UNG	(813) 830-8388

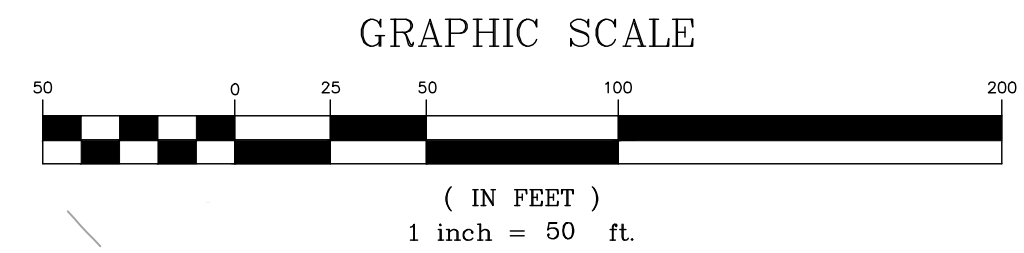
**MWR** MICHAEL W. RADCLIFFE ENGINEERING, INC.  
3811 E.E. 14th Ave, Ocala, FL 34471  
(352) 629-5500 • FAX (352) 830-1010  
Certificate No. EB-006198 • Michael W. Radcliffe P.E. #11170 • Christopher A. Cain P.E. #4538

Project Name: Pine Oaks Preserve  
Sheet Name: Cover Sheet

Revisions to Plan Set  
THIS DATE INDICATES THE LATEST DATE AT WHICH ANY PART OF THIS PLAN SET WAS REVISED.  
Date: 12-7-2023

Sheet No.  
C001  
of  
C006

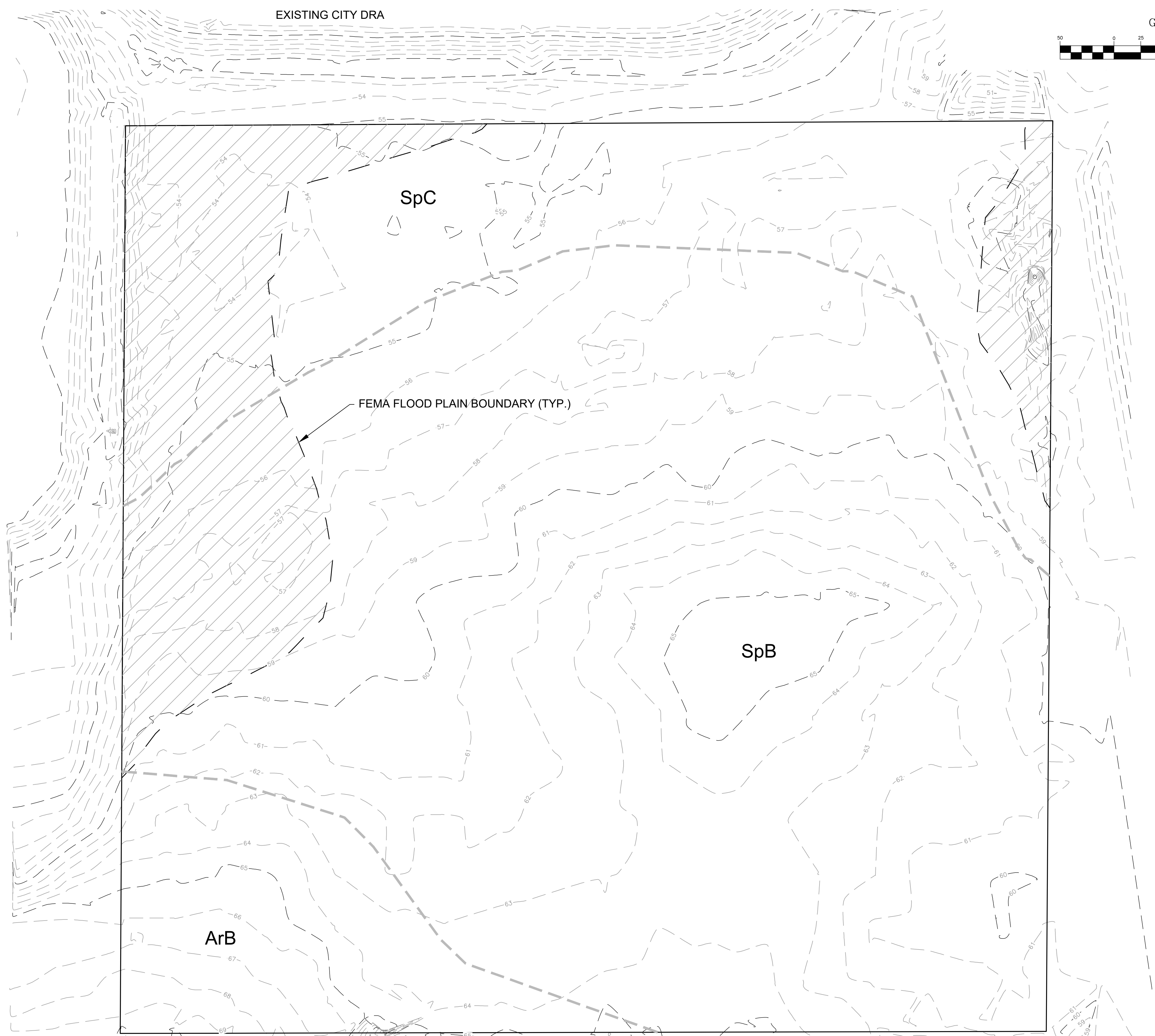




**CITY OF OCALA PROJECT  
 PROJECT # PD23-45351**

EXISTING  
 CITY DRA

EXISTING CITY DRA



SOIL TYPES	HYDROLOGIC GROUP
ArB = ARREDONDO	A
SpB = SPARR FINE SAND	A
SpC = SPARR-URBAN LAND	A

**Legend:**

	SOIL IDENTIFICATION
	SOIL BOUNDARY LINE
	FEMA FLOOD ZONE (100YR)
	CONTOUR LINE

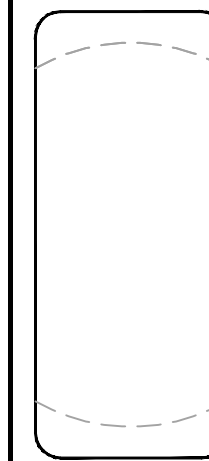
NOTE: PROJECT SURVEY BY R.M. BARRINEAU  
 AND ASSOCIATES

Revised:	
By:	
Date:	

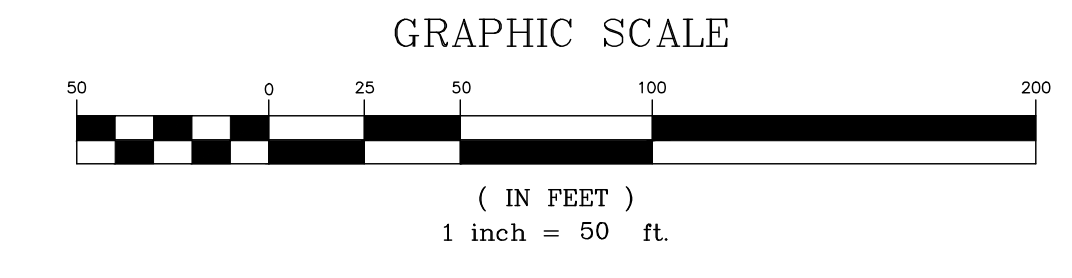
Scale:	1" = 50'
Project:	2023-12
Drawn:	AWR
Checked:	MWR
Date:	09-14-23
File:	2023-12 Pine Oaks Preserve - PD Plan.dwg

**MWR**  
**MICHAEL W. RADCLIFFE ENGINEERING, INC.**  
 2811 S.E. Lake Weir Avenue  
 Ocala, FL 34477 (352) 629-5500 FAX (352) 629-1010  
 Certificate No. EB-000698 • Michael W. Radcliffe P.E. #3170 • Christopher A. Gwin P.E. #4658  
 www.radcliffeengineering.com

Project Name: Pine Oaks Preserve  
 Sheet Name:  
**Existing Conditions**



Sheet No.  
 C003  
 of  
 C006



**CITY OF OCALA PROJECT  
 PROJECT # PD23-45351**

NOTE: LAYOUT IS PRELIMINARY AND  
 SUBJECT TO CHANGE AT FINAL DESIGN.

**Legend:**

- OPEN SPACE AREA  
(SHADED AREAS)
- AGGREGATE OPEN SPACE  
(CROSSHATCH AREAS)

**Open Space Calculations:**

PER LDC SECTION 122-942(a)(4) FOR SINGLE USE RESIDENTIAL PD PROJECTS THERE SHALL BE A MINIMUM OF 40 PERCENT OPEN SPACE FOR THE TOTAL GROSS ACREAGE WITHIN THE ENTIRETY OF THE PD. AT LEAST 10 PERCENT OF THE TOTAL REQUIRED OPEN SPACE SHALL BE IN USABLE AGGREGATE FORM. AGGREGATE OPEN SPACE IS DEFINED AS COMMON OPEN SPACE THAT IS DESIGNED AND INTENDED FOR USE BY THE OCCUPANTS/RESIDENTS OF THE PD.

TOTAL SITE AREA = 16.63 ac. (724,428 SF)

REQUIRED OPEN SPACE:  
 40% OF SITE AREA = 16.63 ac. X 40% = 6.65 ac.

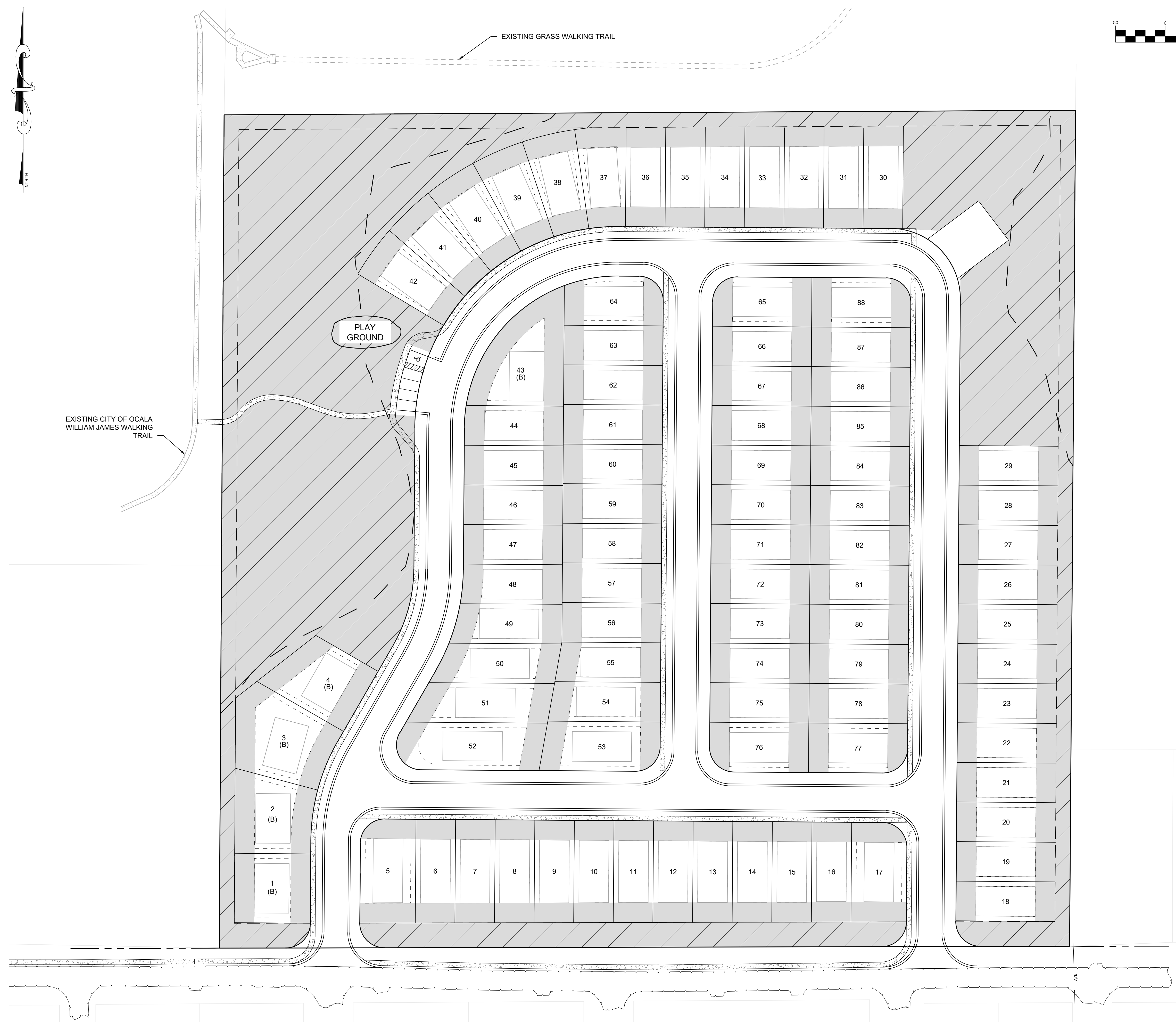
OPEN SPACE PROVIDED: 7.54 ac. (45% = SHADED AREAS)  
 7.54 ac. > 6.65 ac.; THEREFORE O.K.

SIDE YARDS NOT COUNTED IN OPEN SPACE PROVIDED

REQUIRED AGGREGATE OPEN SPACE =  
 10% OF REQUIRED OPEN SPACE = 6.65 ac. X 10% = 0.67 ac.

AGGREGATE OPEN SPACE PROVIDED: 4.30 ac. (65% = CROSSHATCH AREAS)  
 4.30 ac > 0.67 ac.; THEREFORE O.K.

4.30 ac. OF AGGREGATE OPEN SPACE TO BE PROVIDED WHICH MAY CONSIST OF PLAYGROUNDS, SIDEWALKS, NATURE TRAILS, FLOOD PLAINS, FORESTED AREAS, VEGETATIVE BUFFERS AND/OR OTHER APPROPRIATE AGGREGATE OPEN SPACE.

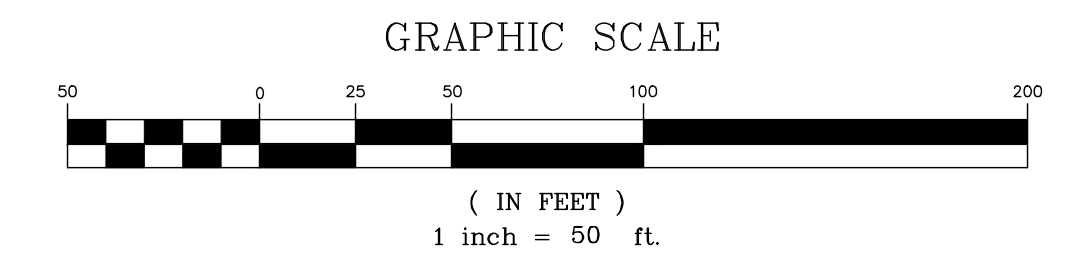


<b>Project Name:</b> Pine Oaks Preserve	<b>Scale:</b> 1" = 50'	<b>Date:</b> 12-7-23	<b>REV. PER CITY COMMENTS:</b>
<b>Sheet Name:</b> Open Space Plan	<b>Project:</b> 2023-12	<b>Scale:</b> 1" = 50'	<b>Rev.:</b>
<b>Sheet No.:</b> C004 of C006	<b>Drawn:</b> MWR	<b>Date:</b> 09-14-23	<b>By:</b>
	<b>Checked:</b> MWR	<b>Date:</b> 09-14-23	<b>File:</b> 2023-12 Pine Oaks Preserve - PD Plan.dwg

**MICHAEL W. RADCLIFFE ENGINEERING, INC.**  
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 Ocala, FL 34471 (352) 629-5500 FAX (352) 629-1010  
 Certificate No. EB-0006198 • Michael W. Radcliffe P.E. #3170 • Christopher A. Cain P.E. #46588  
 www.radcliffeengineering.com

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GOVERNMENT USE



**CITY OF OCALA PROJECT  
 PROJECT # PD23-45351**

TREES IN PLAYGROUND ARE TO BE EVALUATED FURTHER AT TIME OF PLAYGROUND DESIGN. NO MORE WILL BE TAKEN THAN SHOWN HERE, BUT SOME SHOWN TO BE REMOVED MAY BE LEFT TO PROVIDE SHADE IF FEASIBLE



**Tree Calculations**

TOTAL EXISTING VIABLE SHADE TREES = 668  
 ESTIMATED SHADE TREES ALREADY CLEARED (CODE CASE 2022-8008) = 181\*  
 SHADE TREES PROPOSED TO BE REMOVED = 342  
 TOTAL VIABLE SHADE TREES REMAINING = 145

TREE PRESERVATION REQUIREMENTS:  
 DUE TO DENSITY GREATER THAN 8 TREES/ACRE, 4 TREES PER ACRE ARE REQUIRED TO BE PRESERVED  
 REQUIRED = 4 x 16.63 AC = 66.52 = 67 TREES  
 SHADE TREES PRESERVED = 145

SHADE TREE REQUIREMENTS MET WITH EXISTING PRESERVED TREES, THEREFORE NO PLANTED SHADE TREES ARE REQUIRED

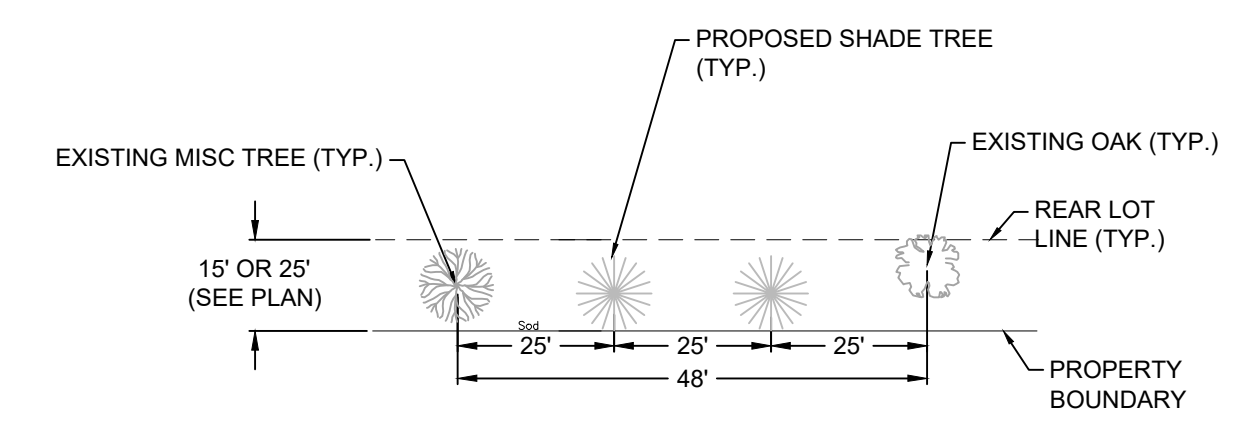
MINIMUM TREE COVERAGE REQUIREMENTS:  
 REQUIRED = 1 TREE PER 5,000 SF  
 REQUIRED = (16.63 AC x 43,560 SF/AC) / 5,000 SF = 144.88 = 145 TREES  
 SHADE TREES PRESERVED = 145

(SEE TREE TABLE ON SHEET 6 FOR SPECIFIC TREE IDENTIFICATION)

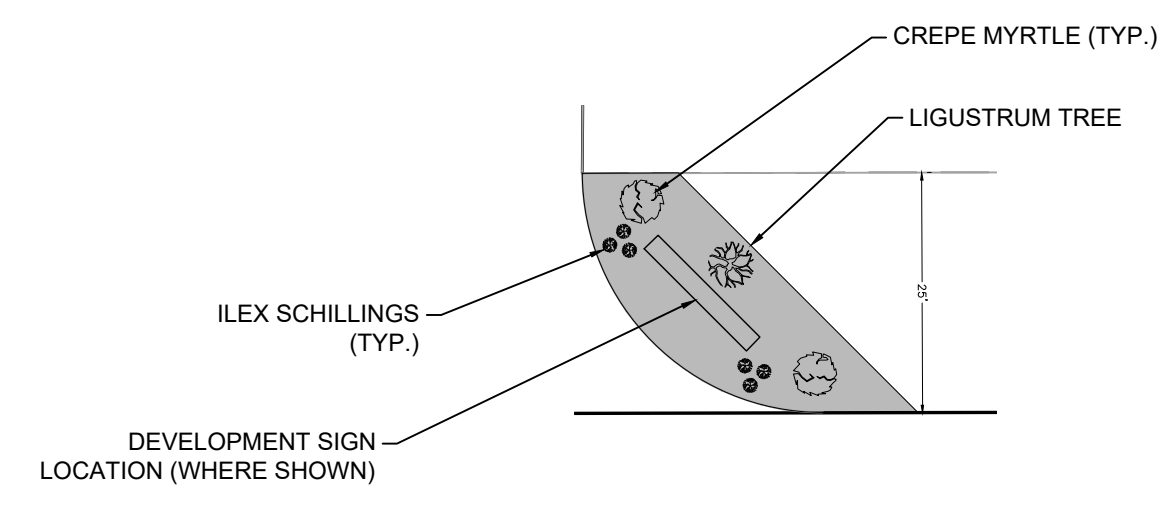
\* DUE TO THE NUMBER OF SHADE TREES PREVIOUSLY CLEARED BEING UNKNOWN, AN ESTIMATED AMOUNT HAS BEEN DETERMINED AS FOLLOWS:  
 SHADE TREES LOCATED X 12.12 AC (AREA NOT CLEARED) = 40.18 SHADE TREES/AC (AVG.)  
 ESTIMATED SHADE TREES CLEARED = 40.18(AVG) X 4.51 AC (CLEARED AREA) = 181 TREES

**Notes:**

- 1.) ALL YARDS TO BE SODDED AT THE TIME OF HOME CONSTRUCTION. ALL DISTURBED AREAS OUTSIDE OF THE RIGHT-OF-WAY SHALL BE SEEDED AND MULCHED. RIGHT-OF-WAYS TO BE SODDED.
- 2.) LANDSCAPED ENTRANCE AREAS SHALL BE SODDED.



PLAN VIEW  
 PLANTING DETAIL IN  
 LANDSCAPE BUFFERS  
 N.T.S



TYPICAL LANDSCAPED  
 ENTRANCE AREA  
 N.T.S

Revised:	
By:	
Date:	12-7-23
	BIL
	REVISIONS PER CITY COMMENTS

Scale:	1" = 50'
Project:	2023-12
Drawn:	BIL
Checked:	MWR
Date:	09-14-23
	PD23-12 Pine Oaks Preserve - PD Planning

**MICHAEL W. RADLIFE ENGINEERING, INC.**  
 2811 S.E. Lake Weir Avenue  
 Ocala, FL 34471 (352) 628-5500 FAX (352) 628-1010  
 Certificate No. EB-0006198 • Michael W. Radlife P.E. #3170 • Christopher A. Gwin P.E. #4558  
 www.radlifeengineering.com

**LANDSCAPE AND TREE**

Project Name:	Pine Oaks Preserve
Sheet Name:	
Sheet No. of C006	C005



SECTION 7, TOWNSHIP 15 SOUTH, RANGE 22 EAST  
MARION COUNTY, FLORIDA

REVIEWED

For Code Compliance  
City of Ocala Growth Management  
PD23-45351-Pine Oaks  
Preserve 5/13/2024

NO. BY DATE

DRAWN: S.W.M.  
REVISED:  
CHECKED: T.P.B.  
APPROVED: T.P.B.  
SCALE: 1" = 60'

**R.M. BARRINEAU & ASSOCIATES**  
PROFESSIONAL SURVEYORS & MAPPERS  
1000 W. UNIVERSITY BLVD., SUITE 100, OCALA, FLORIDA 34471  
PHONE: (352) 622-2133 • FAX: (352) 388-3771 • www.rmbarrineau.com  
REGIONAL BARRINEAU P.S.M. - FOUNDER • CERTIFICATE OF AUTHORIZATION NO. 131899  
TRAVIS P. BARRINEAU, P.S.M. - LS 6897

**BOUNDARY & TOPOGRAPHIC SURVEY FOR:  
SMART FILL INVESTMENT, LLC**

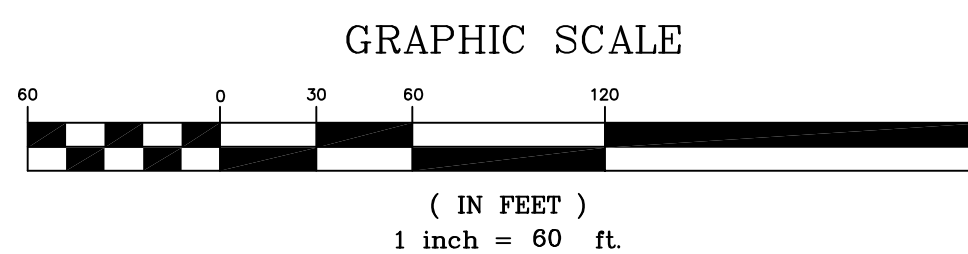
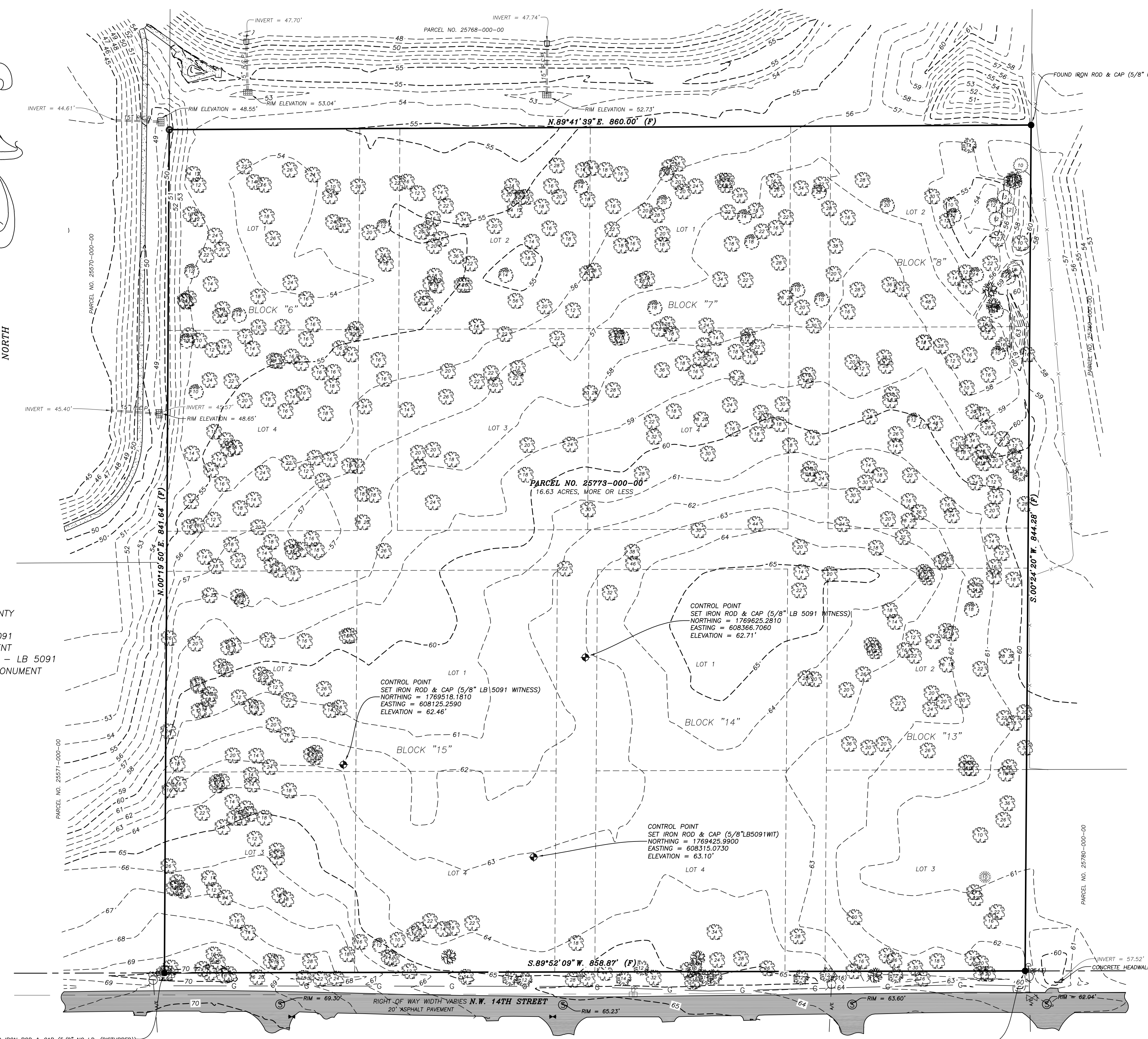
REFERENCES:  
F.B. , PGS.  
FILE: MUNDEN'S SUB

J.O.# 22135  
DWG.# 22135  
SHT 1 OF 1

TREE LEGEND  
(SIZE DENOTED INSIDE SYMBOL)

- CAMPHOR
- CHERRY
- HICKORY
- HOLLY
- HACK BERRY
- OAK
- PALM
- PINE
- SWEETGUM

- LEGEND** UNLESS OTHERWISE NOTED
- = CENTERLINE OF RIGHT OF WAY
  - = CHORD BEARING
  - = OFFICIAL RECORDS OF MARION COUNTY
  - = FOUND 5/8" IRON ROD & CAP
  - = SET 5/8" IRON ROD & CAP - LB 5091
  - = FOUND 4" x 4" CONCRETE MONUMENT
  - = SET 4" x 4" CONCRETE MONUMENT - LB 5091
  - = FOUND 8" OCTAGONAL CONCRETE MONUMENT
  - = FOUND NAIL & DISC
  - = SET NAIL & DISC - LB 5091
  - = FOUND 1" IRON PIPE
  - = FOUND RAILROAD SPIKE
  - (F) = FIELD MEASUREMENT
  - (P) = PLAT DIMENSION
  - (D) = DEED DIMENSION
  - (C) = CALCULATED DIMENSION
  - = DRAINAGE MANHOLE
  - = STORM DRAINAGE GRATE
  - = SANITARY MANHOLE
  - = SANITARY CLEANOUT
  - = SEWER VALVE
  - = WOOD POWER POLE
  - = ELECTRIC TRANSFORMER
  - = ELECTRIC BOX
  - = GUY ANCHOR
  - = TELEPHONE VAULT
  - = TELEPHONE BOX
  - = TELEPHONE CABLE MARKER
  - = TELEPHONE MANHOLE
  - = CABLE BOX
  - = SATELLITE DISH
  - = FIBER OPTIC CABLE MARKER
  - = FIRE HYDRANT
  - = WATER VALVE
  - = WATER METER
  - = BACKFLOW PREVENTOR
  - = IRRIGATION CONTROL VALVE
  - = HOSE BIBB
  - = WELL
  - = MONITORING WELL
  - = FIRE DEPARTMENT CONNECTION
  - = GAS METER
  - = GAS VALVE
  - = GAS LINE MARKER
  - = AIR CONDITIONER PAD
  - = METAL REFLECTOR POST
  - = BOLLARD
  - = KEY PAD
  - = MAILBOX
  - = SIGN
  - = FLAG POLE
  - P.V.C. = POLYVINYL CHLORIDE
  - R.C.P. = REINFORCED CONCRETE PIPE
  - C.M.P. = CORRUGATED METAL PIPE
  - H.D.P.E. = HIGH DENSITY POLYETHYLENE
  - = AERIAL ELECTRIC
  - = BROKEN LINE; NOT DRAWN TO SCALE
  - = DENOTES CONCRETE
  - = DENOTES ASPHALT



**DESCRIPTION:**

PER WARRANTY DEED AS RECORDED IN OFFICIAL RECORDS BOOK 7783, PAGE 1264 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

BLOCKS 6, 7, 14 AND 15; LOTS 2 AND 3, OR WEST 1/2 OF BLOCK 8; AND LOTS 2 AND 3, OR WEST 1/2 OF BLOCK 13, MUNDEN'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK A, PAGE 76, PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

**NOTES:**

1. DATE OF FIELD SURVEY:
2. SUBJECT TO RIGHTS OF WAY, RESTRICTIONS, EASEMENTS AND RESERVATIONS OF RECORD.
3. UNLESS OTHERWISE SHOWN, UNDERGROUND IMPROVEMENTS NOT LOCATED.
4. PUBLIC RECORDS NOT SEARCHED BY R.M. BARRINEAU & ASSOCIATES, INC.
5. BEARINGS AND STATE PLANE COORDINATES DEPICTED HEREON ARE GRID, WEST FLORIDA ZONE, NAD-83 (GORS96) EPOCH:2002.0000, BASED ON TRIMBLE VIRTUAL REFERENCE STATION NETWORK AND REFERENCED TO CITY OF OCALA ENGINEERING DEPARTMENT CONTROL POINT 0024.
6. VERTICAL DATUM BASED ON NATIONAL GEODETIC SURVEY CONTROL POINT R 587 WITH AN ELEVATION OF 51.56', NAVD-88.
7. ORIENTATION FOR THE IMPROVEMENTS SHOWN HEREON SHOULD NOT BE USED TO RECONSTRUCT BOUNDARY LINES.
8. ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
9. THIS SURVEY DEPICTS THE PROPERTY AS IT EXISTED ON THE SURVEY DATE, NOT NECESSARILY THE SIGNATURE DATE.
10. THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE BENEFIT OF THE PARTY(IES) NAMED HEREON, AND SHALL NOT BE DUPLICATED OR RELIED UPON BY ANY OTHER INDIVIDUAL OR ENTITY WITHOUT AUTHORIZATION FROM R.M. BARRINEAU & ASSOCIATES, INC.

**SURVEYOR'S CERTIFICATION:**

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17.050-052, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

SIGNATURE DATE: TRAVIS P. BARRINEAU, P.S.M. - LS 6897  
TRAVIS@RMBARRINEAU.COM OF R.M. BARRINEAU & ASSOCIATES, INC.  
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER